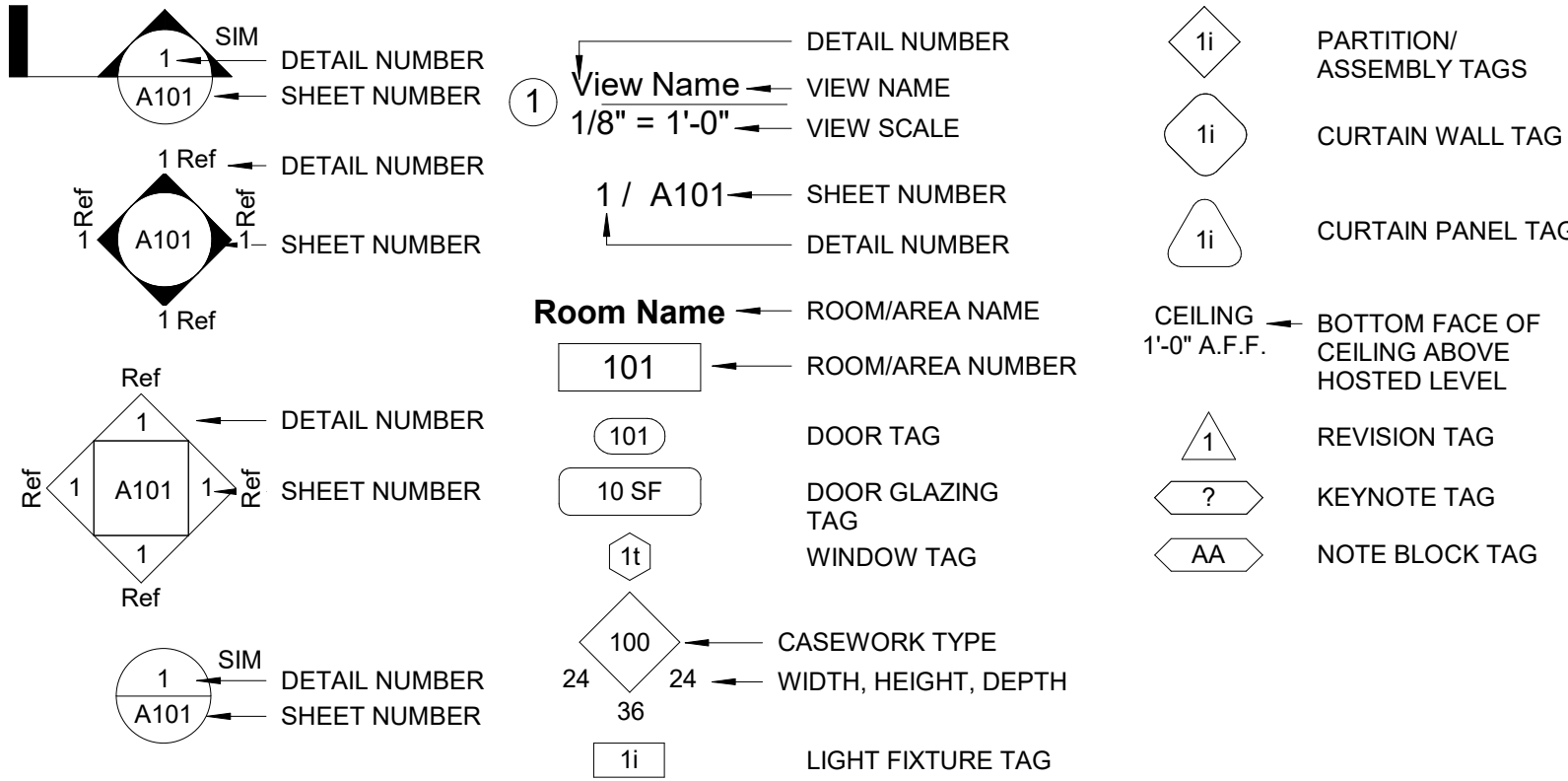


2969 BANYAN RD NEW RESIDENCE

ABBREVIATIONS

AC	AIR CONDITIONING	HPT	HIGH POINT
AD	AREA DRAIN	HT	HEIGHT
AFF	ABOVE FINISH FLOOR	INCL	INCLUDED
AGGR	AGGREGATE	INSUL	INSULATION
ALT	ALTERNATE	JT	JOINT
ALUM	ALUMINUM	KS	KITCHEN SINK
APPROX	APPROXIMATE	L CL	LINEN CLOSET
ARCH	ARCHITECTURAL	LAM	LAMINATE
ASF	ABOVE STRUCTURAL FLOOR	LAV	LAVATORY
AVG	AVERAGE	LL	LIVE LOAD
B/ or BO	BOTTOM OF	LPT	LOW POINT
BD	BOARD	LV	LOW VOLTAGE
BITUM	BITUMINOUS	MASY	MASONRY
BLDG	BUILDING	MAX	MAXIMUM
BSMT	BASEMENT	MC	MEDICINE CABINET
CAB	CABINET	MECH	MECHANICAL
CEM	CEMENT	MFR	MANUFACTURER
CFM	CUBIC FEET PER MINUTE	MIN	MINIMUM
CL	CENTER LINE	MISC	MISCELLANEOUS
CLG	CEILING	MO	MASONRY OPENING
CLR	CLEAR	MTL	METAL
CMU	CONCRETE MANSONRY UNIT	MW	MICROWAVE
COD	CO DETECTOR	NIC	NOT IN CONTRACT
COL	COLUMN	NO	NUMBER
CONC	CONCRETE	NOM	NOMINAL
CONST	CONSTRUCTION	NTS	NOT TO SCALE
CONT	CONTINUOUS	OC	ON CENTER
CPT	CARPET	OSD	OPEN SITE DRAIN
CT	CERAMIC TILE	PAN	PANTRY
D	DEEP	PL	PLATE
DBL	DOUBLE	PLAM	PLASTIC LAMINATE
DEPT	DEPARTMENT	PT	PAINT
DIA	DIAMETER	QT	QUARRY TILE
DIM	DIMENSION	R	RADIUS
DL	DEAD LOAD	REF	REFRIGERATOR
DN	DOWN	REQD	REQUIRED
DS	DOWNSPOUT	REV	REVISION
DW	DISHWASHER	RNG	RANGE
DWG	DRAWING	RO	ROUGH OPENING
EA	EACH	SC	SOLID CORE
EL	ELEVATION	SD	SMOKE DETECTOR
ELEC	ELECTRICAL	SF	SQUARE FEET
ELEV	ELEVATOR	SH	SHELF
EMER	EMERGENCY	SST	STAINLESS STEEL
EQ	EQUAL	ST	STAINED
EQPT	EQUIPMENT	STD	STANDARD
EXIST	EXISTING	STL	STEEL
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
FDTN	FOUNDATION	THK	THICKNESS
FL	FLOOR DRAIN	TYP	TYPICAL
FP	FIRE PLACE	UNO	UNLESS NOTED OTHERWISE
FURN	FURNACE	VERT	VERTICAL
G DISP	GARBAGE DISPOSAL	VIF	VERIFY IN FIELD
GA	GAGE or GAUGE	W	WIDE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	W/D	WASHER / DRYER
GYP BD	GYPSUM BOARD	WC	WATER CLOSET
HC	HOLLOW CORE	WD	WOOD
HM	HOLLOW METAL	WH	WATER HEATER
HORIZ	HORIZONTAL	WIC	WALK-IN CLOSET
		WP	WATERPROOF
		WWF	WELDED WIRE FABRIC

SYMBOL & MATERIAL LEGEND



DETAIL NUMBER

VIEW NAME

1/8" = 1'-0"

VIEW SCALE

1 /

A101

SHEET NUMBER

DETAIL NUMBER

Room Name

ROOM/AREA NAME

101

ROOM/AREA NUMBER

101

DOOR TAG

10 SF

DOOR GLAZING TAG

11

WINDOW TAG

100

24

36

CASEWORK TYPE

WIDTH, HEIGHT, DEPTH

11

LIGHT FIXTURE TAG

11

PARTITION/ ASSEMBLY TAGS

11

CURTAIN WALL TAG

11

CURTAIN PANEL TAG

1

1'-0" A.F.F.

BOTTOM FACE OF CEILING ABOVE HOSTED LEVEL

1

REVISION TAG

?

KEYNOTE TAG

AA

NOTE BLOCK TAG

SHEET LIST DD

SHEET #	SHEET NAME
00 COVER	
000	COVER SHEET
05 ARCHITECTURE	
A001	SITE PLAN
A101	FLOOR PLAN (EXISTING & DEMOLITION)
A103	FLOOR PLANS - L01
A104	FLOOR PLANS - L02
A105	FLOOR PLANS - ROOF
A150	REFLECTIVE CEILING PLANS - L01
A151	REFLECTIVE CEILING PLANS - L02
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
A310	WALL SECTIONS
A311	WALL SECTIONS
A312	WALL SECTIONS
A801	FINISH PLAN LEVEL 01
A802	FINISH PLAN LEVEL 02
A901	RENDER - STREET
A902	RENDER - REAR YARD
TOTAL: 19	

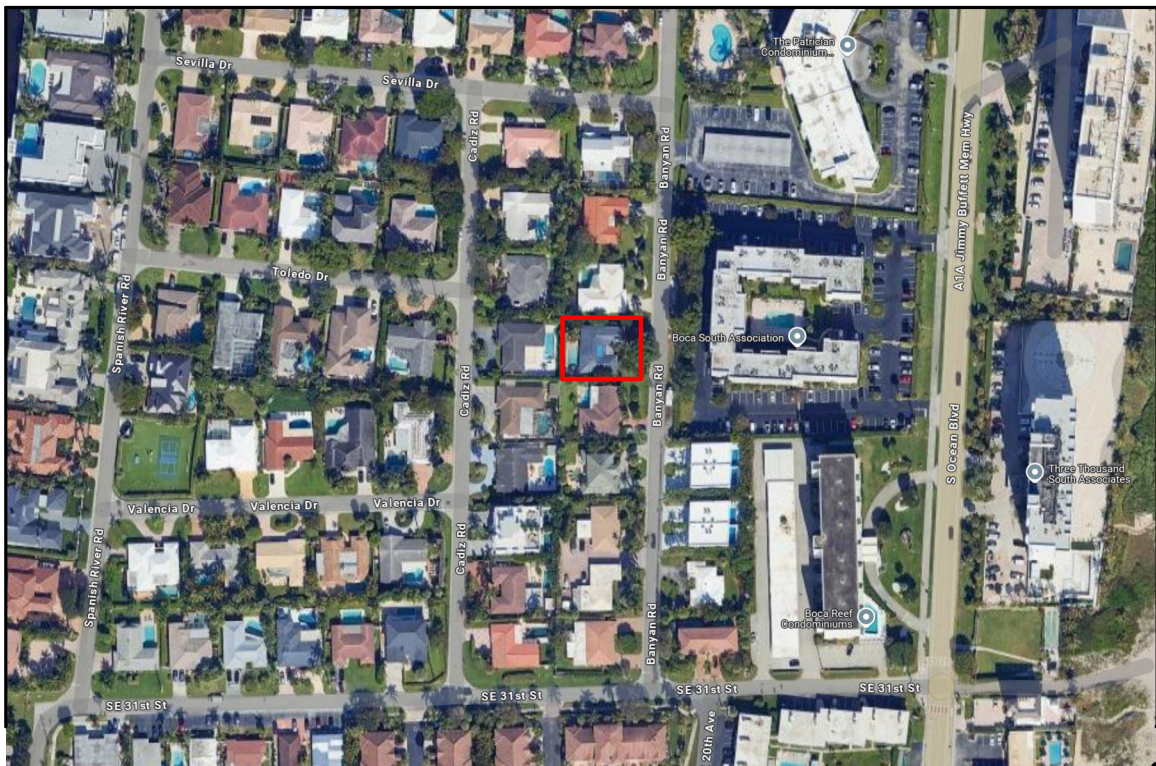
APPLICABLE CODES:

- 2023 FLORIDA BUILDING CODE, BUILDING - EIGHTH EDITION
- 2023 FLORIDA BUILDING CODE, RESIDENTIAL - EIGHTH EDITION

PERSPECTIVE/HERO IMAGE



VICINITY MAP



SCOPE OF WORK

NEW CONSTRUCTION PER PLANS



Forma Forge Architecture, LLC
2500 N Military Trl, Ste 480,
Boca Raton, FL 33431
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CONTRACTOR:
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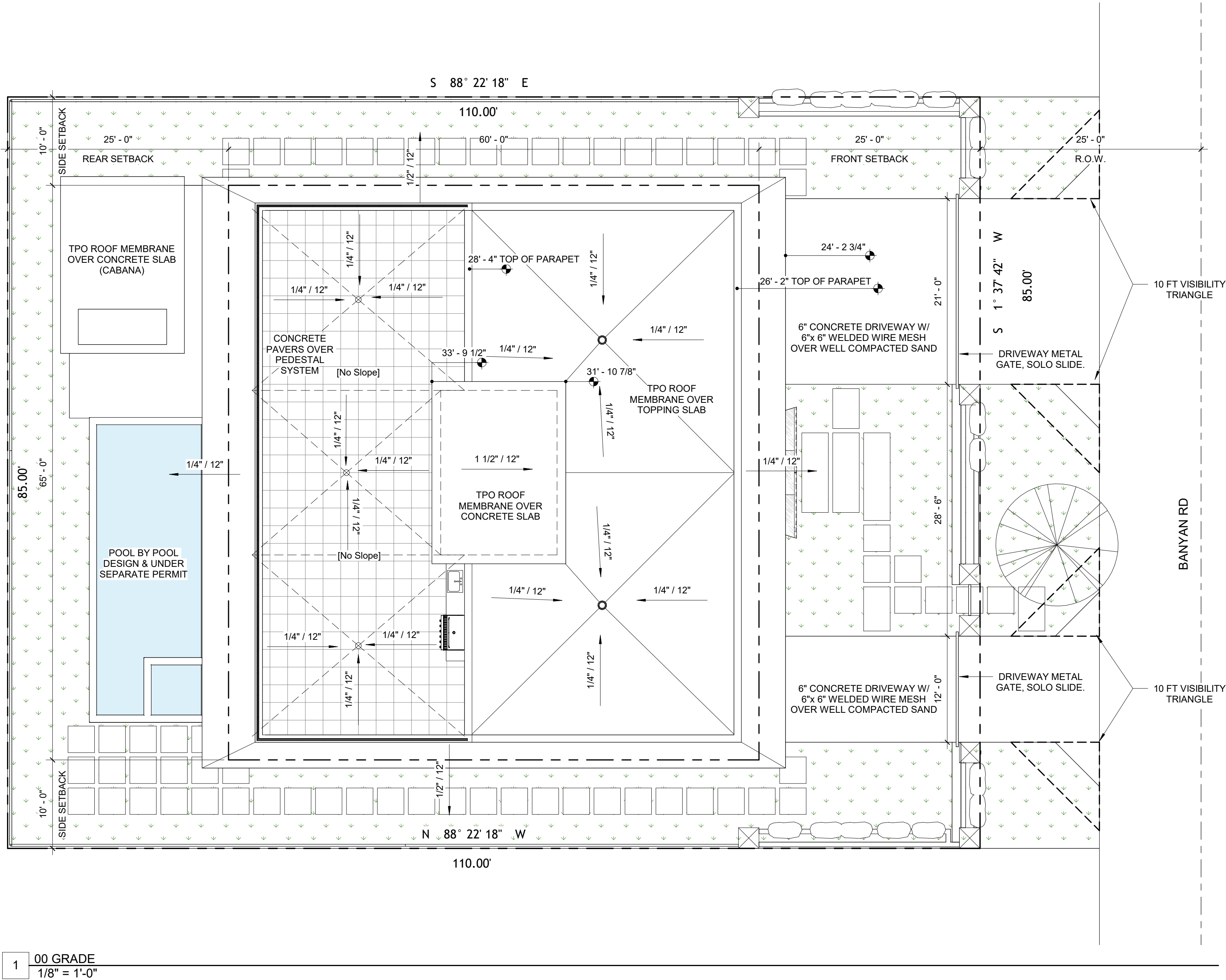
COVER SHEET

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SCALE 1/4" = 1'-0"

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ZONING DATA FOR BOCA RATON - DISTRICT R-1-A						
PROPERTY INFORMATION						
PARCEL CONTROL NUMBER	06-43-47-32-02-006-0020					
PROPERTY OWNER	RADP HOLDINGS LLC					
LEGAL DESCRIPTION	LOT 2, BLOCK 6, SPANISH RIVER LAND COMPANY UNIT 3, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGE 91, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA					
PROPERTY ADDRESS	2969 BANYAN RD, BOCA RATON, FLORIDA 33432					
ZONING						
ZONING DISTRICT	R-1-A					
DESCRIPTION	SINGLE FAMILY RESIDENTIAL (MAX 1.53 UNITS PE ACRE)					
BUILDING HEIGHT	MAX 25 FT (35 FT FOR ROOFS <40% OF TOTAL ROOF AREA)					
NUMBER OF FLOORS	N/A					
PRIOR PLATTED	YES					
APPLICABLE CODE						
FLORIDA BUILDING CODE - 2023 RESIDENTIAL						
OCCUPANCY	RESIDENTIAL - GROUP R3					
CONSTRUCTION TYPE	III-B					
FLOOD ZONE	X'					
BASE FLOOD ELEVATION	N/A	CROWN OF ROAD ELEVATION: +7.96' NAVD				
MINIMUM LOT AREA	PER Sec. 28-337	PROVIDED: 9,350 SF				
MINIMUM LOT WIDTH	PER Sec. 28-337	PROVIDED: 85 FT				
MAXIMUM HEIGHT	25 FT (35 FT FOR ROOFS <40% OF TOTAL ROOF AREA)	PROVIDED: 33'-10" (TO TOP OF UPPER SLOPED ROOF)				
BUILDING FLOOR AREA (SF)	AREA UNDER A/C	GARAGES	BALCONIES	PATIO	ROOF DECK	TOTAL
FIRST FLOOR	2,291	888		410		3,589
SECOND FLOOR	3,396		712			4,108
ROOF	245				1,384	1,629
TOTAL BLDG. AREA (SF)	5,932	888	712	410	1,384	9,326
F.A.R.		ALLOWED	PROPOSED			
		N/A	0.6344 (5932 SQ. FT.)			
MAX LOT COVERAGE		N/A	38.4% (3,589 SF)			
SETBACKS		REQUIRED		PROPOSED		
		FIRST FLOOR	SECOND FLOOR	FIRST FLOOR	SECOND FLOOR	
	FRONT YARD	25'-0"	25'-0"	25'-0"	27'-0"	
	SIDE YARD (EAST)	10'-0"	10'-0"	10'-0"	10'-0"	
	REAR YARD	25'-0"	25'-0"	29'-0"	27'-0"	
POOL SETBACKS		REQUIRED	PROPOSED			
	FRONT YARD	N/A	N/A			
	SIDE YARD	10'-0"	15'-0"			
	REAR YARD	10'-0"	10'-0"			
BUILDING HEIGHT		ALLOWED	PROPOSED			
		25'-0"	24'-10" FROM FFE TO TOP OF ROOF DECK			
		5'-0"	28'-4" FROM FFE TO TOP OF PARAPET			
		35'-0"	33'-10" FROM FFE TO TOP OF UPPER ROOF (SLOPED ROOF <40% OF ROOF AREA)			
PARKING		REQUIRED	PROPOSED			
		N/A	3 SPACES			
GREEN AREA REQUIREMENTS		N/A				



GENERAL NOTES

- FIRST FLOOR ELEVATION IS BASED ON THE CITY DATUM **XX.XX'** LOCATED AT **STREET ADDRESS**.
- G.C. TO COORDINATE ALL INCOMING UTILITIES.
- SEE LANDSCAPE AND CIVIL DRAWINGS FOR MORE SPECIFIC DETAILS REGARDING HARD AND SOFT SCAPE.

LEGEND

----- PROPERTY LINE

KEYNOTE

AHJ APPROVAL STAMP:



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LANDSCAPE ARCHITECT:
N/A

CONTRACTOR:
TBC

#	DESCRIPTION	DATE
PROJECT #:	2024-100	
FIRST ISSUE:	12/16/24	
CHECKED BY:	YM	
DRAWN BY:	EZ	

SITE PLAN

A001

SCALE As indicated

GENERAL DEMO NOTES

1. THE DEMOLITION CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ADHERENCE TO ALL LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.
2. MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD A CERTIFICATE OF INSURANCE FOR ALL LIABILITIES WITH A HOLD HARMLESS CLAUSE PROTECTING THE OWNER AND ARCHITECT.
3. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS, POLICIES, AND PROCEDURES OF THE OWNER.
4. ALL WORK SHALL BE THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATION AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
5. THE GENERAL SCOPE OF THE DEMOLITION WORK INCLUDES THE DEMOLITION OF ALL EXISTING STRUCTURES ON THE PROPERTY.
6. EXISTING STRUCTURES TO BE DEMOLISHED SHALL BE REMOVED IN ITS ENTIRETY INCLUDING WALLS, SLABS AND FOUNDATIONS.
7. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL COMPLETION OF THE PROJECT. THE CONTRACTOR AND HIS SUB-CONTRACTORS SHALL FURNISH ALL OF ITEMS AND LABOR REQUIRED FOR THE FULL CONTRACT COMPLETION OF THIS PROJECT. ACCEPTANCE BY THE OWNER SHALL BE A CONDITION OF THE CONTRACT.
8. GENERAL CONTRACTOR IS TO MAINTAIN EROSION CONTROLS DEVICES AS REQUIRED DURING DEMOLITION
9. GENERAL CONTRACTOR IS TO TAKE PRE-DEMOLITION PHOTOGRAPHS OF THE STRUCTURES AND SURROUNDINGS
10. GENERAL CONTRACTOR IS TO PROVIDE PERMITS AND NOTICES AUTHORIZING DEMOLITION.
11. GENERAL CONTRACTOR IS TO PROVIDE PERMIT FOR TRANSPORT AND DISPOSAL OF DEBRIS AND COORDINATE WITH OWNER.
12. GENERAL CONTRACTOR SHALL REDUCE THE AIRBORNE DUST DURING THE ENTIRE DEMOLITION SCHEDULE. WATER MAY BE USED AS A REDUCER.
13. BEFORE STARTING DEMOLITION OPERATIONS, THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE OWNER AND ALL UTILITY COMPANIES AND DEPARTMENTS 72 HOURS OR AS REQUIRED BEFORE DEMOLITION IS TO START TO VERIFY ANY UTILITIES THAT MAY BE PRESENT ON SITE. ALL VERIFICATIONS, LOCATIONS, SIZE AND DEPTHS SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES OR DEPARTMENTS. WHEN EXCAVATING AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THE UTILITY MAY BE PRESENT DURING THE EXCAVATION TO INSTRUCT AND OBSERVE DURING THE PROCESS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
14. THE CONTRACTOR SHALL CONDUCT DEMOLITION WORK IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK.
15. THE CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. CONTRACTOR SHALL TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE, AND NOT TO RESUME OPERATION UNTIL SAFETY IS RESTORED.
16. UNLESS DIRECTED OTHERWISE REMOVE ALL DEMOLISHED MATERIAL FROM THE SITE IN AN APPROVED MANNER AS THE WORK PROGRESSES. DO NOT BURN OR BURY DEMOLISHED MATERIALS ON SITE. AT THE COMPLETION OF THE WORK, ALL DEMOLISHED MATERIALS SHALL BE REMOVED AND THE SITE LEFT IN A CLEAN CONDITION.
17. PROTECT ALL FLOOR OPENINGS.
18. DRAWINGS AND SPECIFICATIONS ARE TO BE ISSUED TO THE SUB-CONTRACTORS IN COMPLETE SETS SO THAT THE FULL EXTENT OF WORK IS SHOWN AND COORDINATION OF WORK IS MADE POSSIBLE.
19. THE CONTRACTOR SHALL PROVIDE AND PLACE BRACING OR SHORING AS NECESSARY FOR SUPPORT OF STRUCTURES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AND ASSUMES LIABILITY FOR DAMAGE OR INJURY RELATED TO ANY PORTION OF THE WORK.
20. REMOVE ALL MISCELLANEOUS ITEMS FROM WALLS, CEILINGS, COLUMNS AND FLOORS. COLUMNS, WALLS & FLOORS TO BE SMOOTH & FREE OF ALL PROTRUDING OBJECTS, UNLESS NOTED OTHERWISE.
21. MAINTAIN (2) TWO MEANS OF EGRESS (MINIMUM) PER FLOOR DURING DEMOLITION WORK.
22. PROTECT EXISTING BUILDINGS AND ADJACENT SURFACES, FEATURES AND PROPERTY. REMOVE DEBRIS FROM SITE DAILY.
23. THE ARCHITECT HAS NO KNOWLEDGE AND SHALL NOT BE HELD LIABLE IF ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION. THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE OWNER FOR FURTHER INSTRUCTION BEFORE PROCEEDING.
24. DO NOT SCALE DRAWINGS.
25. REFER TO ALL DRAWINGS AND SPECIFICATIONS FOR FULL COORDINATION OF WORK.
26. REFER TO SURVEY FOR SITE INFORMATION. THE FOLLOWING DRAWING AND DIMENSIONS ARE APPROXIMATE AND WERE DRAWN TO BE AS ACCURATE AS POSSIBLE FROM THE EXISTING CONDITIONS. IT IS THE RESPONSABILITY OF THE CONTRACTOR TO FIELD VERIFY ANY DIMENSIONS WHICH NEED TO BE REFERENCED. THE SURVEYING COMPANY SHALL NOT BE RESPONSIBLE FOR MISINTERPRETATIONS OF THE DIMENSIONS OR ANY ALTERATIONS THEREAFTER.
27. THE PREMISES SHALL BE KEPT IN A BROOM SWEEPED FINISH CONDITION DURING DEMOLITION WORK. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR LITTER AND LEFT OVER MATERIALS ON A REGULAR BASIS AND LEAVE THE PROJECT A BROOM FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF THIS PROJECT.
28. ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES IN ORDER TO AVOID INTERFERENCES AND OMISSIONS.
29. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND BARRICADES AROUND THE SITE, AS REQUIRED, AND AT ANY OPENINGS THAT MIGHT PRESENT A HAZARD.



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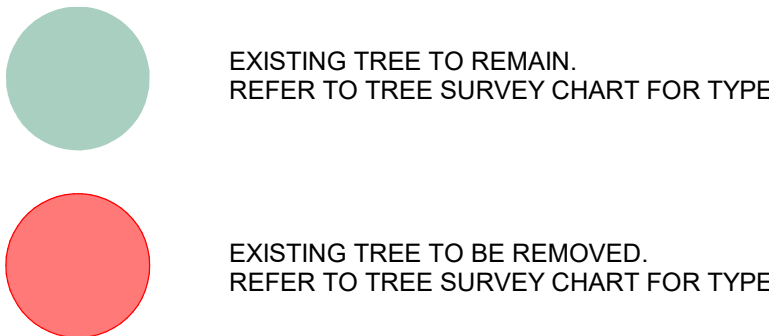
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PROJECT #:	2024-100	
FIRST ISSUE:	12/18/24	
CHECKED BY:	YM	
DRAWN BY:	EZ	

FLOOR PLAN
(EXISTING &
DEMOLITION)

A101

SCALE As indicated

EXISTING TREE LEGEND



DEMOLISH EXISTING (1) STORY CBS
BUILDING INCLUDING FOUNDATION,
SLABS, ROOFS, WINDOWS, DOORS,
MILLWORK, ASPHALT DRIVEWAY,
POOL AND POOL DECK,
ALL PLUMBING, ALL ELECTRICAL
AND ALL MECHANICAL SYSTEMS.

POINT OF TANGENCE
ON E. SIDE OF LOT 5

FOUND 5/8" IRON ROD
NO I.D., N.E.
CORNER OF LOT 4

FOUND 5/8"
IRON ROD
NO I.D., @ P.I.

FOUND 5/8"
IRON ROD
NO I.D., @

SITE BENCHMARK
EL. = 7.60'

BANYAN ROAD 50' R/W (IMPROVED)

S 01° 37' 42" W 85.00'

FOUND 5/8"
IRON ROD
NO I.D., 0.7' N.E.
BLOCK CORNER
S.E. CORNER
OF LOT 1

LOT 3
BLOCK 6

LOT 2
BLOCK 6

BUILDING
#2969

LOT 1
BLOCK 6

LOT 8 - BLOCK 6

LOT 9 - BLOCK 6

LOT 10
BLOCK 6

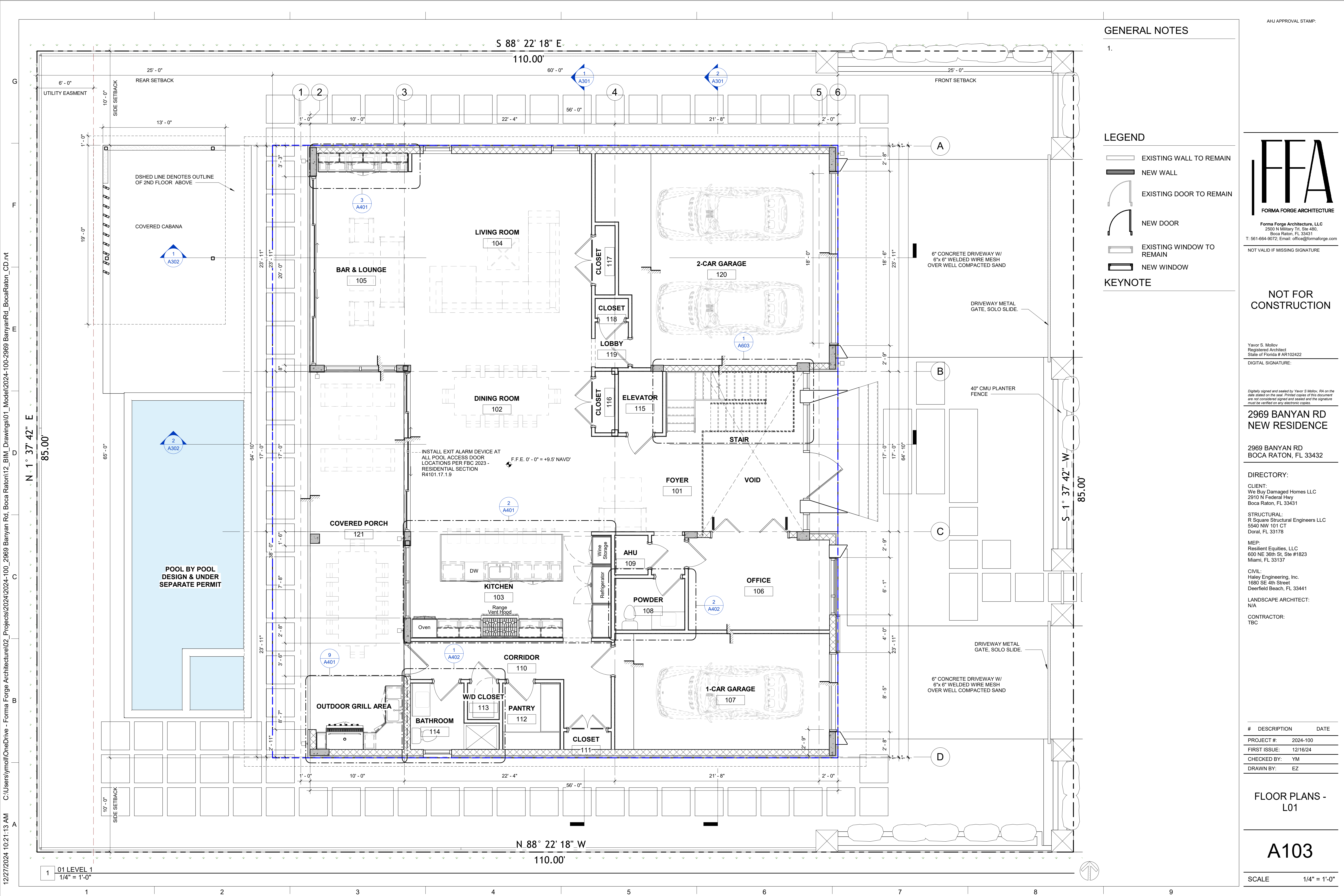
1 DEMOLITION SITE PLAN
1/8" = 1'-0"



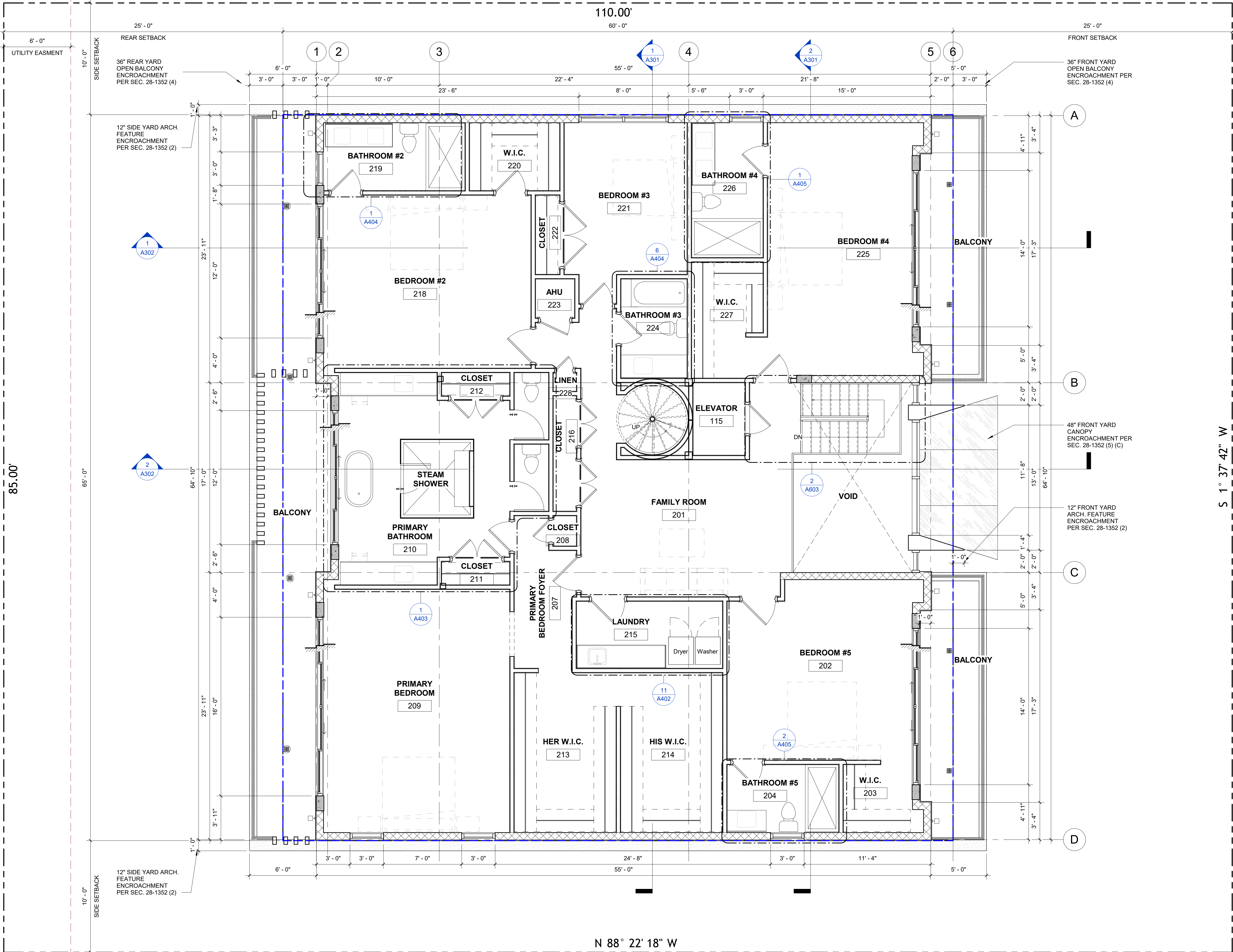
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FLOOR PLANS -
L01

SCALE 1/4" = 1'-0"



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GENERAL NOTES

1.

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW

KEYNOTE

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FLOOR PLANS -
L02

A104

SCALE 1/4" = 1'-0"

#	DESCRIPTION	DATE
PROJECT #:	2024-100	
FIRST ISSUE:	12/16/24	
CHECKED BY:	YM	
DRAWN BY:	EZ	

1.

- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR
- EXISTING WINDOW TO REMAIN
- NEW WINDOW

2 UPPER ROOF PLAN
1/4" = 1'-0"

1/4" = 1'-0"

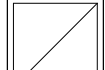
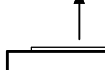
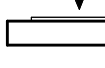
1	ROOF PLAN 1/4" = 1'-0"
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$$\frac{1}{4}'' = 1'-0''$$

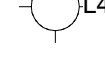
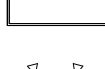
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CEILING LEGEND

-  A/C SUPPLY DIFFUSER.
RE: MECHANICAL PLANS.
-  A/C RETURN DIFFUSER.
RE: MECHANICAL PLANS.
-  A/C SIDEWALL SUPPLY DIFFUSER.
RE: MECHANICAL PLANS.
-  A/C SIDEWALL RETURN DIFFUSER.
RE: MECHANICAL PLANS.
-  A/C LINEAR SUPPLY DIFFUSER.
RE: MECHANICAL PLANS.
-  A/C LINEAR RETURN.
RE: MECHANICAL PLANS.
-  A/C ROUND SUPPLY DIFFUSER.
RE: MECHANICAL PLANS.
-  EXHAUST FAN.
RE: MECHANICAL PLANS.

LIGHT FIXTURES LEGEND

-  L1 RECESSED DOWNLIGHT.
-  L2 RECESSED DOWNLIGHT MOISTURE PROOF.
-  L3 SURFACE MOUNTED LIGHT .
-  L4 PENDANT LIGHT FIXTURE .
-  L5 INTERIOR WALL MOUNTED LIGHT FIXTURE .
-  L6 EXTERIOR WALL MOUNTED LIGHT FIXTURE .
-  LED LIGHT - CONTINUOUS ROPE .
-  L9 CEILING MOUNTED FLUORESCENT .
-  L10 EMERGENCY LIGHT .
-  J JUNCTION BOX .
-  X ILLUMINATED EXIT SIGN .
-  F1 EXTERIOR FAN .



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State of Florida # AR102422

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2969 BANYAN RD NEW RESIDENCE

2969 BANYAN RD
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Miami, FL 33137

CIVIL:
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1680 SE 4th Street
Deerfield Beach, FL 33441

LANDSCAPE ARCHITECT:
N/A

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#	DESCRIPTION	DATE
PROJECT #:	2024-100	
FIRST ISSUE:	12/18/24	
CHECKED BY:	YM	
DRAWN BY:	EZ	

REFLECTIVE CEILING PLANS - L01

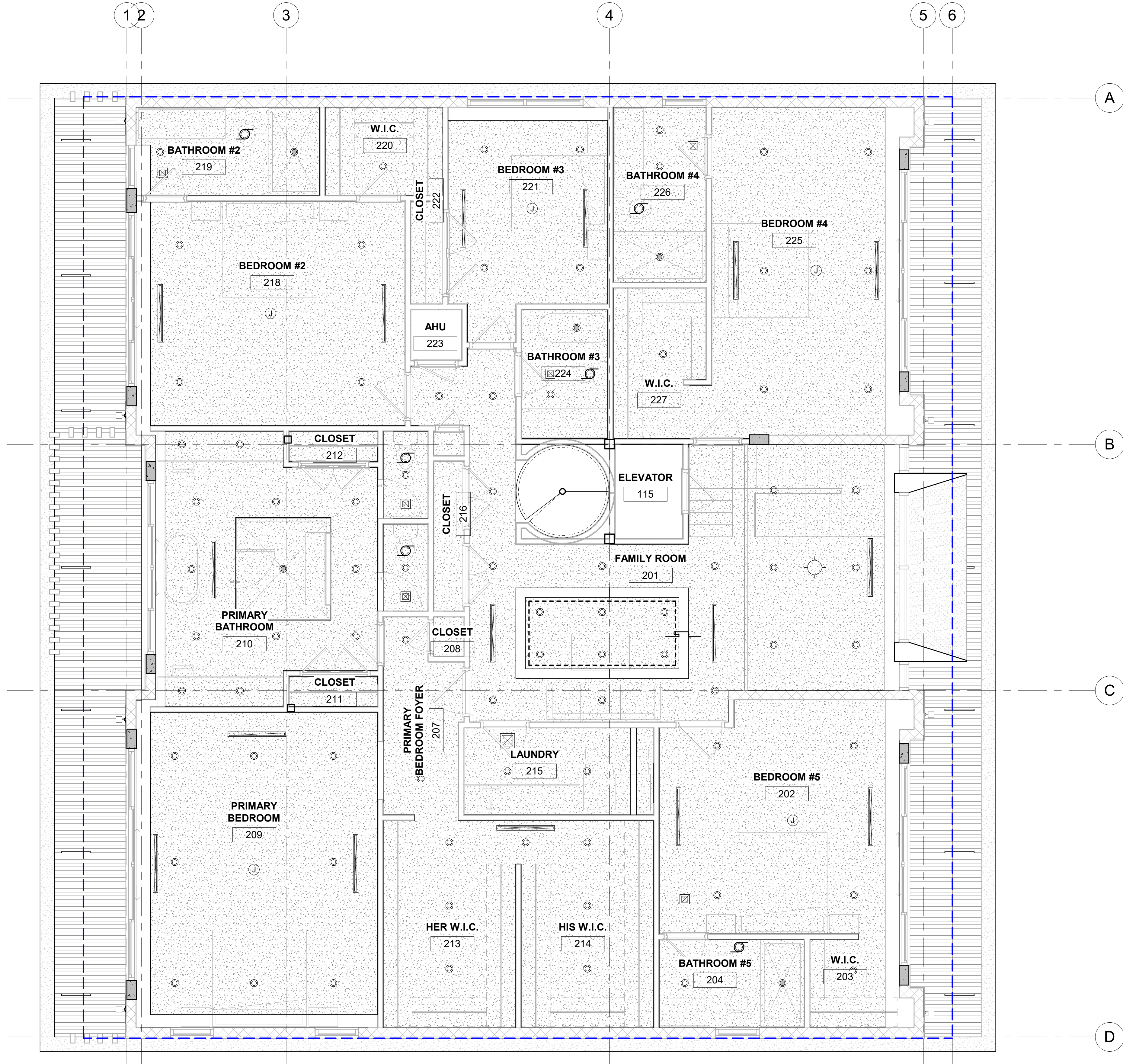
A150

SCALE 1/4" = 1'-0"

1 01 LEVEL 1
1/4" = 1'-0"

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1 02 LEVEL 2
1/4" = 1'-0"



CEILING LEGEND

- A/C SUPPLY DIFFUSER.
RE: MECHANICAL PLANS.
- A/C RETURN DIFFUSER.
RE: MECHANICAL PLANS.
- A/C SIDEWALL SUPPLY DIFFUSER.
RE: MECHANICAL PLANS.
- A/C SIDEWALL RETURN DIFFUSER.
RE: MECHANICAL PLANS.
- A/C LINEAR SUPPLY DIFFUSER.
RE: MECHANICAL PLANS.
- A/C LINEAR RETURN.
RE: MECHANICAL PLANS.
- A/C ROUND SUPPLY DIFFUSER.
RE: MECHANICAL PLANS.
- EXHAUST FAN.
RE: MECHANICAL PLANS.

LIGHT FIXTURES LEGEND

- L1 RECESSED DOWNLIGHT.
- L2 RECESSED DOWNLIGHT MOISTURE PROOF.
- L3 SURFACE MOUNTED LIGHT .
- L4 PENDANT LIGHT FIXTURE .
- L5 INTERIOR WALL MOUNTED LIGHT FIXTURE .
- L6 EXTERIOR WALL MOUNTED LIGHT FIXTURE .
- LED LIGHT - CONTINUOUS ROPE .
- L9 CEILING MOUNTED FLUORESCENT .
- L10 EMERGENCY LIGHT .
- JUNCTION BOX .
- ILLUMINATED EXIT SIGN .
- F1 EXTERIOR FAN .

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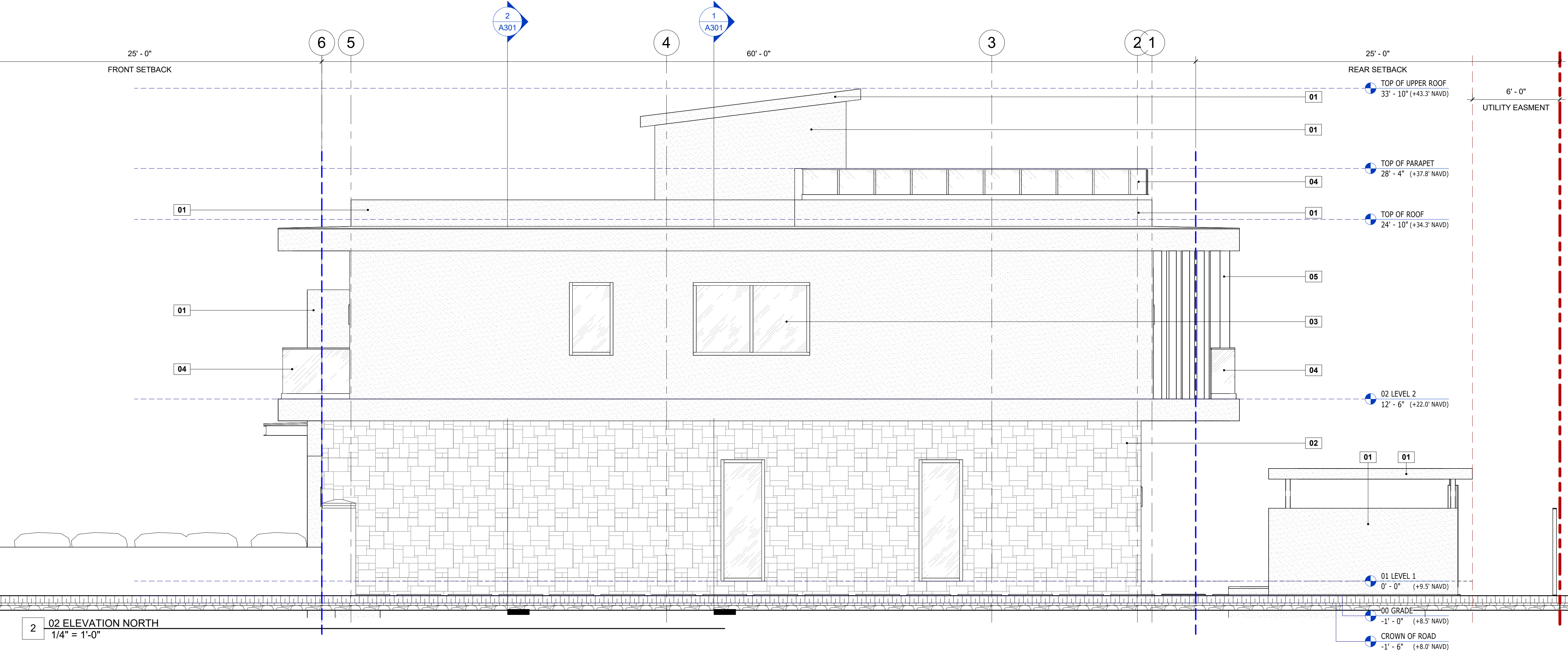
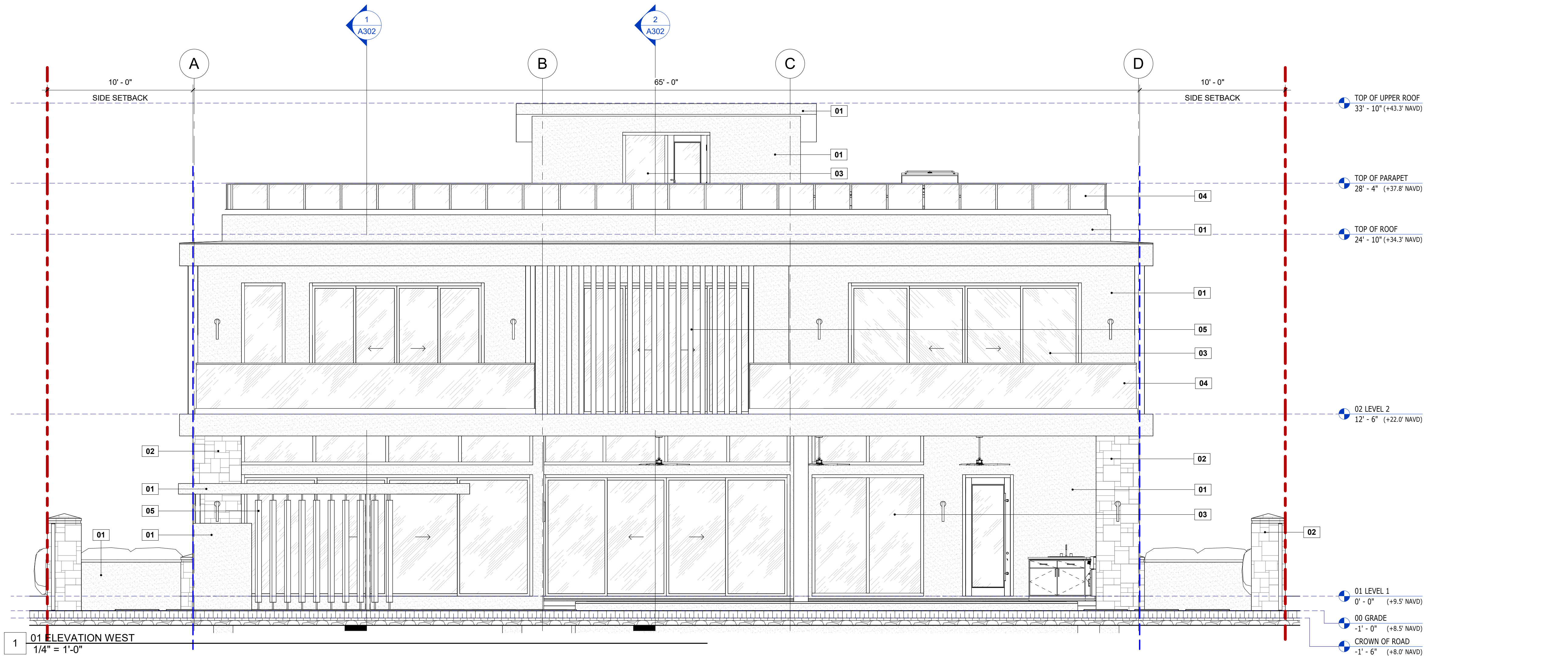
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REFLECTIVE
CEILING PLANS -
L02

A151

SCALE 1/4" = 1'-0"

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GENERAL NOTES

1.

LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION

KEYNOTE

MATERIAL KEY

- SMOOTH STUCCO FINISH PAINTED WHITE
- LIMESTONE TILES
- IMPACT RATED ALUMINUM/GLASS WINDOWS AND DOORS: "CHARCOAL-BLACK" FRAME
- 42" HGT. IMPACT RESISTANT ALUMINUM AND GLASS RAILLING. CHARCOAL-BLACK FRAME W/ CLEAR GLASS
- ALUMINUM SLATS W/ OAK WOOD GRAIN FINISH
- HORIZONTAL FLUTTED PANEL GARAGE DOOR
- ALUM. SLAT SCREEN - W/ OAK WOOD GRAIN FINISH

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N/A

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EXTERIOR ELEVATIONS

A201

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AJH APPROVAL STAMP:

GENERAL NOTES

1.

LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION

KEYNOTE

MATERIAL KEY

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- IMPACT RATED ALUMINUM/GLASS WINDOWS AND DOORS: "CHARCOAL-BLACK" FRAME
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- ALUMINUM SLATS W/ OAK WOOD GRAIN FINISH
- HORIZONTAL FLUTTED PANEL GARAGE DOOR
- ALUM. SLAT SCREEN - W/ OAK WOOD GRAIN FINISH



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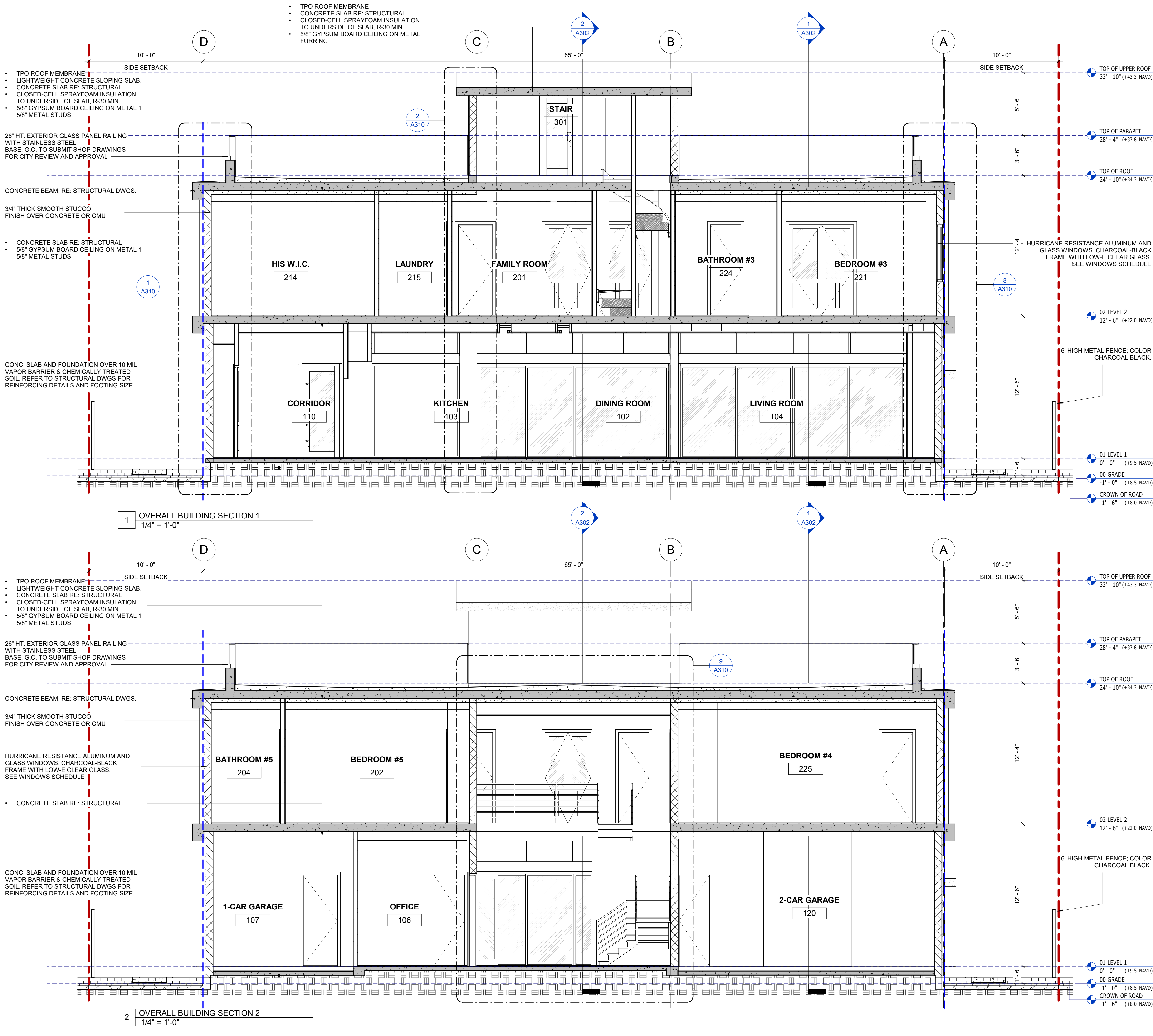
EXTERIOR ELEVATIONS

A202

SCALE As indicated



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GENERAL NOTES

1.

LEGEND

- EXISTING TO REMAIN
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CONTRACTOR:
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BUILDING
SECTIONS

A301

SCALE 1/4" = 1'-0"

GENERAL NOTES

1.

LEGEND

EXISTING TO REMAIN

NEW CONSTRUCTION

KEYNOTE



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LANDSCAPE ARCHITECT:
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BUILDING
SECTIONS

A302

SCALE 1/4" = 1'-0"

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G

F

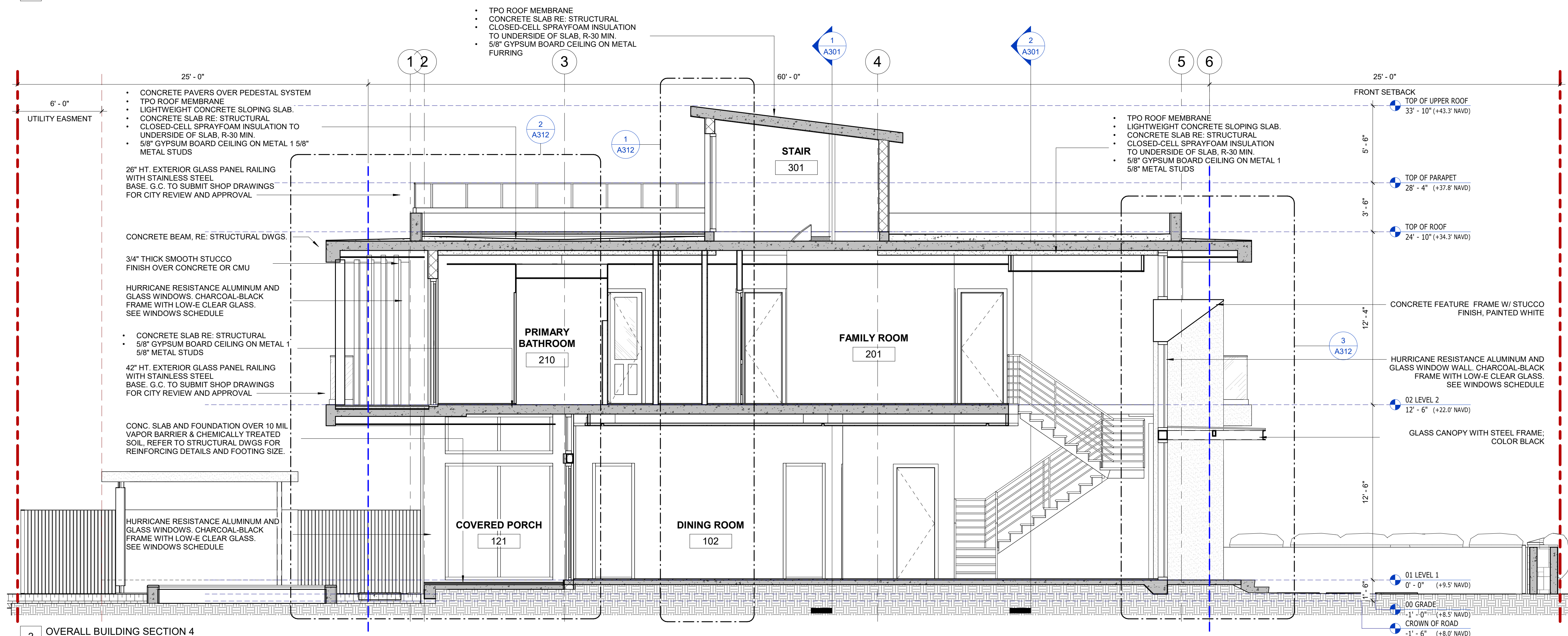
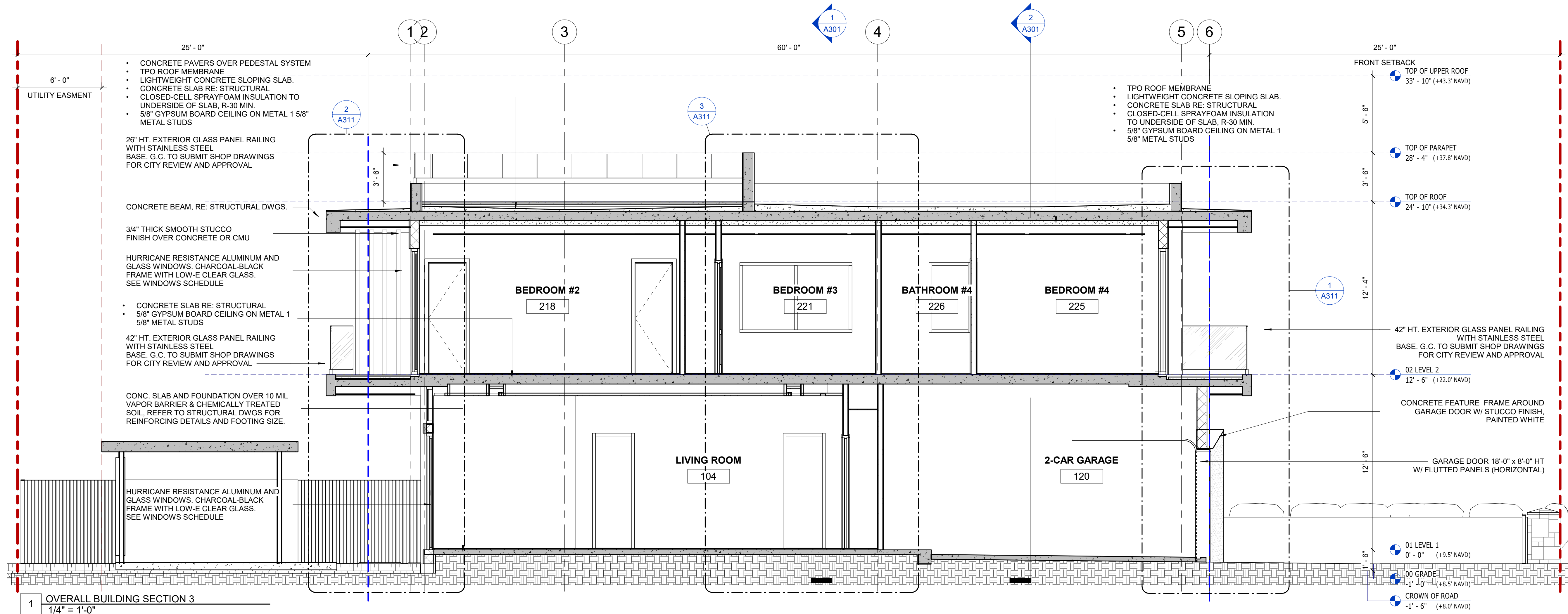
E

D

C

B

A



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Registered Architect
State of Florida # AR102422

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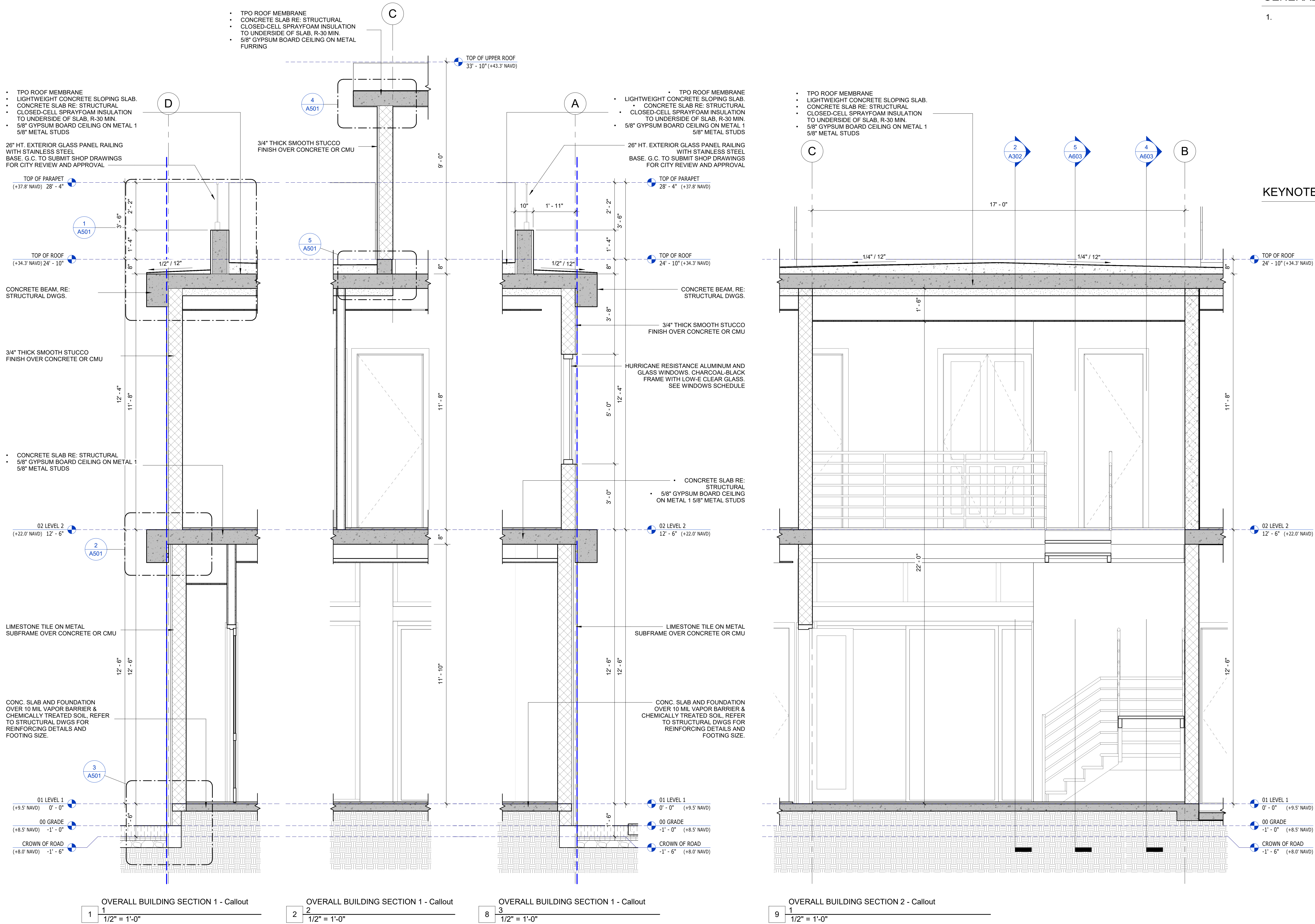
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A310

SALE As indicated

1.

KEYNOTE



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1680 SE 4th Street
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LANDSCAPE ARCHITECT:
N/A

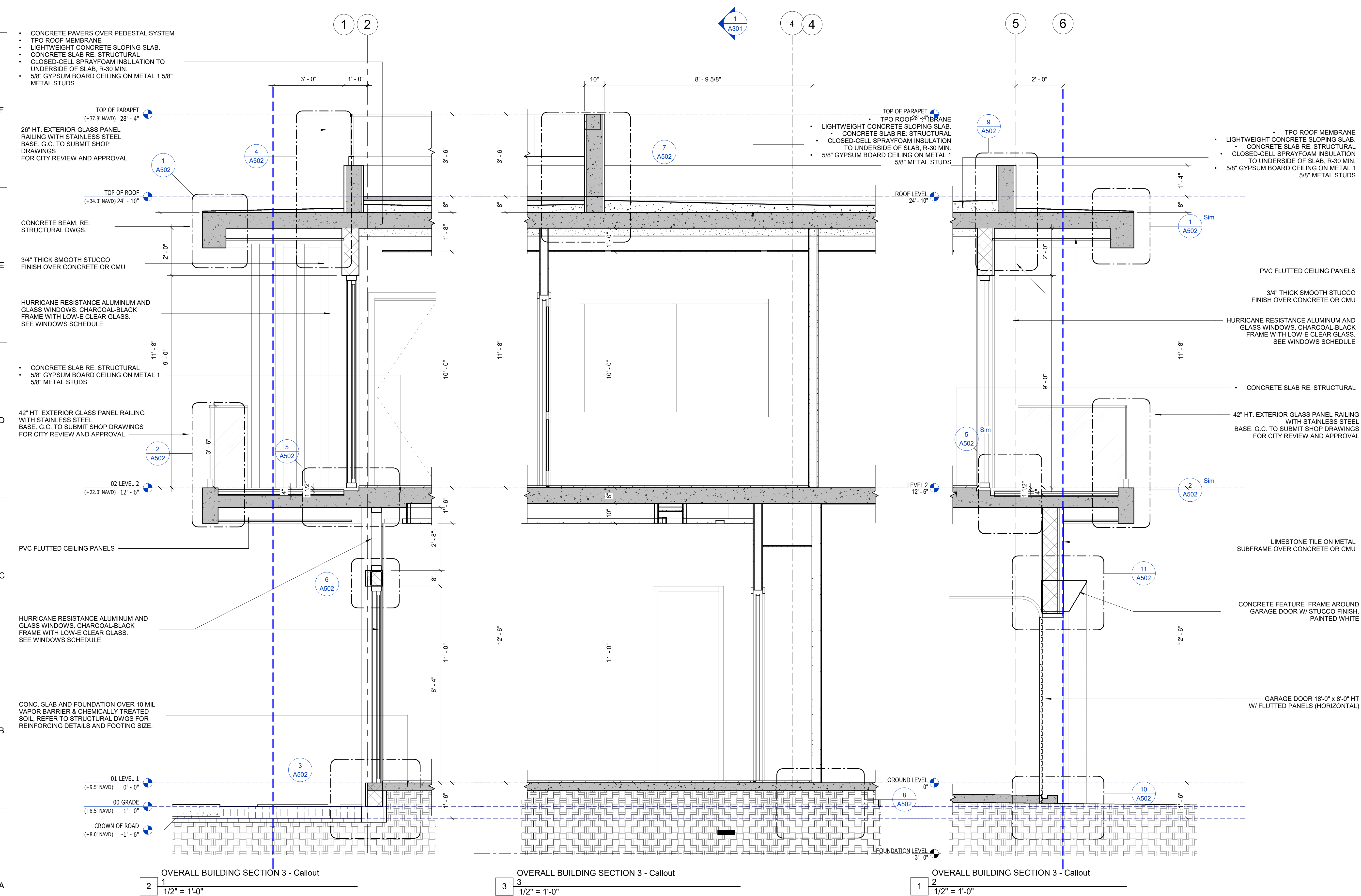
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WALL SECTIONS

SCALE As indicated

1.

KEYNOTE



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- CONCRETE PAVERS OVER PEDESTAL SYSTEM
- TPO ROOF MEMBRANE
- LIGHTWEIGHT CONCRETE SLOPING SLAB.
- CONCRETE SLAB RE: STRUCTURAL
- CLOSED-CELL SPRAYFOAM INSULATION TO UNDERSIDE OF SLAB, R-30 MIN.
- 5/8" GYPSUM BOARD CEILING ON METAL 1 5/8" METAL STUDS

TOP OF PARAPET
(+37.8' NAVD) 28' - 4"

26" HT. EXTERIOR GLASS PANEL RAILING WITH STAINLESS STEEL BASE. G.C. TO SUBMIT SHOP DRAWINGS FOR CITY REVIEW AND APPROVAL

TOP OF ROOF
(+34.3' NAVD) 24' - 10"

CONCRETE BEAM, RE: STRUCTURAL DWGS.

3/4" THICK SMOOTH STUCCO FINISH OVER CONCRETE OR CMU

HURRICANE RESISTANCE ALUMINUM AND GLASS WINDOWS, CHARCOAL-BLACK FRAME WITH LOW-E CLEAR GLASS. SEE WINDOWS SCHEDULE

ALUMINUM SLATS

- CONCRETE SLAB RE: STRUCTURAL
- 5/8" GYPSUM BOARD CEILING ON METAL 1 5/8" METAL STUDS

42" HT. EXTERIOR GLASS PANEL RAILING WITH STAINLESS STEEL BASE. G.C. TO SUBMIT SHOP DRAWINGS FOR CITY REVIEW AND APPROVAL

02 LEVEL 2
(+22.0' NAVD) 12' - 6"

PVC FLUTTED CEILING PANELS

HURRICANE RESISTANCE ALUMINUM AND GLASS WINDOWS, CHARCOAL-BLACK FRAME WITH LOW-E CLEAR GLASS. SEE WINDOWS SCHEDULE

CONC. SLAB AND FOUNDATION OVER 10 MIL VAPOR BARRIER & CHEMICALLY TREATED SOIL. REFER TO STRUCTURAL DWGS FOR REINFORCING DETAILS AND FOOTING SIZE.

01 LEVEL 1
(+9.5' NAVD) 0' - 0"

00 GRADE
(+8.5' NAVD) -1' - 0"

CROWN OF ROAD
(+8.0' NAVD) -1' - 6"

OVERALL BUILDING SECTION 4 - Callout

2
1/2" = 1'-0"

TOP OF UPPER ROOF
(+43.3' NAVD) 33' - 10"

1
A503

2
A503

OVERALL BUILDING SECTION 4 - Callout

1
1/2" = 1'-0"

OVERALL BUILDING SECTION 4 - Callout

3
1/2" = 1'-0"

- TPO ROOF MEMBRANE
- LIGHTWEIGHT CONCRETE SLOPING SLAB.
- CONCRETE SLAB RE: STRUCTURAL
- CLOSED-CELL SPRAYFOAM INSULATION TO UNDERSIDE OF SLAB, R-30 MIN.
- 5/8" GYPSUM BOARD CEILING ON METAL 1 5/8" METAL STUDS

TOP OF ROOF
24' - 10" (+34.3' NAVD)

1
A502

5
A503

CONCRETE FEATURE FRAME W/ STUCCO FINISH, PAINTED WHITE

HURRICANE RESISTANCE ALUMINUM AND GLASS WINDOW WALL, CHARCOAL-BLACK FRAME WITH LOW-E CLEAR GLASS. SEE WINDOWS SCHEDULE

02 LEVEL 2
12' - 6" (+22.0' NAVD)

6
A503

GLASS CANOPY WITH STEEL FRAME; COLOR BLACK

7
A503

01 LEVEL 1
0' - 0" (+9.5' NAVD)

00 GRADE
-1' - 0" (+8.5' NAVD)

CROWN OF ROAD
-1' - 6" (+8.0' NAVD)

GENERAL NOTES

1.

KEYNOTE

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LANDSCAPE ARCHITECT:
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CONTRACTOR:
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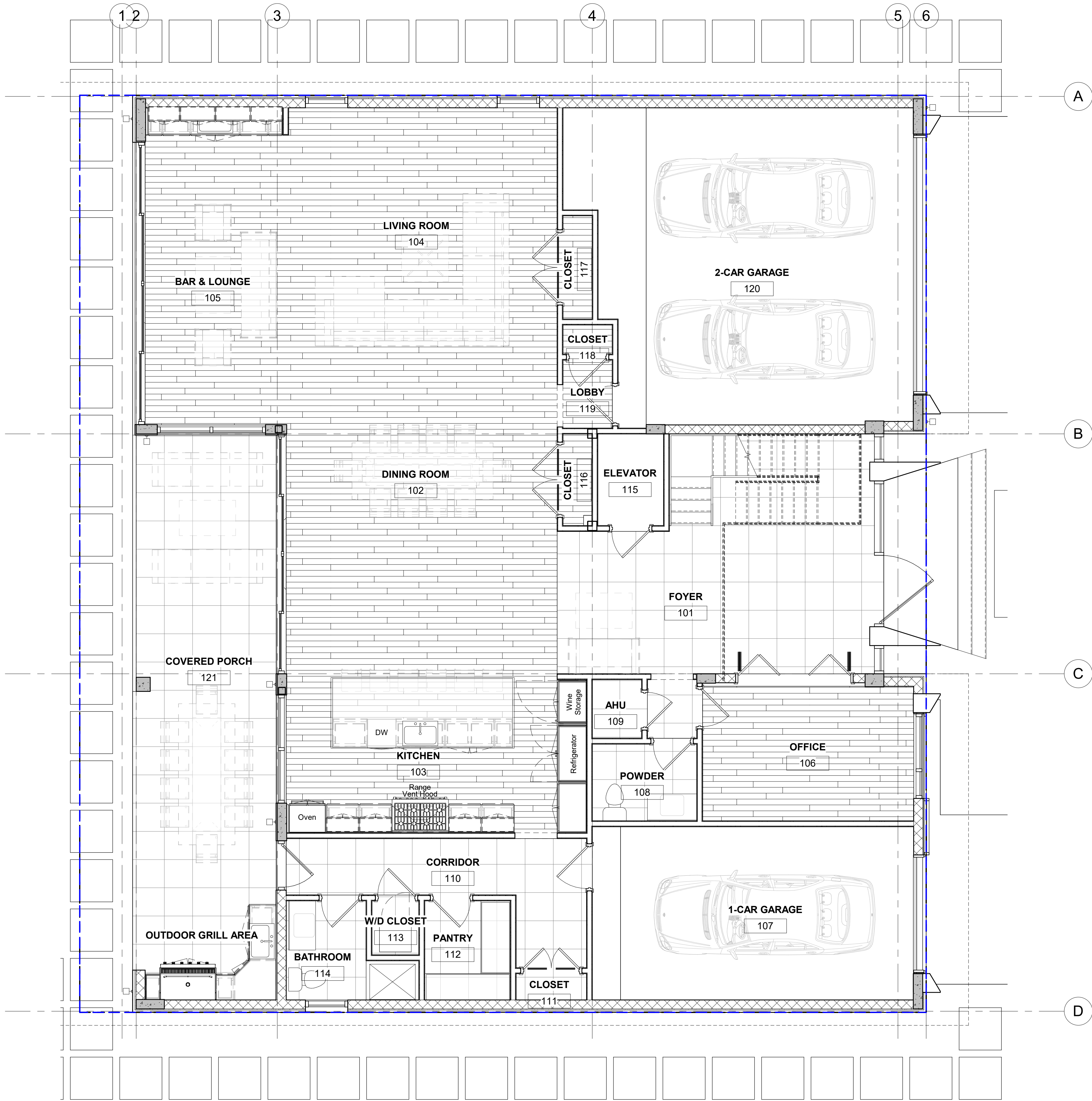
WALL SECTIONS

A312

SCALE As indicated

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1 01 LEVEL 1(FINISH PLAN)
1/4" = 1'-0"

ROOM FINISH SCHEDULE									
KEY_Room Style	ROOM NAME	RM #	AREA	WALL FINISH	FLOOR FINISH	CEILING FINISH	BASE FINISH	CROWN FINISH	NOTES
01 LEVEL 1									
(none)	FOYER	101	Not Enclosed	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	PER I.D.
(none)	DINING ROOM	102	187.42 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	KITCHEN	103	392.95 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	LIVING ROOM	104	426.45 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	BAR & LOUNGE	105	Not Enclosed	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	OFFICE	106	145.67 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	1-CAR GARAGE	107	279.74 SF	PAINT - WHITE	SEALED POWDER FLOATED CONCRETE	PAINT - WHITE		N/A	
(none)	POWDER	108	40.35 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	AHU	109	14.58 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	CORRIDOR	110	111.00 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	CLOSET	111	9.32 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	PANTRY	112	42.70 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	W/D CLOSET	113	12.81 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	BATHROOM	114	50.24 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	PER I.D.
(none)	ELEVATOR	115	30.33 SF					N/A	
(none)	CLOSET	116	13.41 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	
(none)	CLOSET	117	15.27 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	
(none)	CLOSET	118	7.29 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	
(none)	LOBBY	119	16.92 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	2-CAR GARAGE	120	510.12 SF	PAINT - WHITE	SEALED POWDER FLOATED CONCRETE	PAINT - WHITE		N/A	
(none)	COVERED PORCH	121	382.72 SF	STUCCO - WHITE	CERAMIC TILES	PVC FLUTTED PANELS		N/A	
21			2689.30 SF						
02 LEVEL 2									
(none)	FAMILY ROOM	201	350.30 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	BEDROOM #5	202	260.14 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	W.I.C.	203	40.65 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	BATHROOM #5	204	60.83 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	PER I.D.
(none)	PRIMARY BEDROOM FOYER	207	66.44 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	CLOSET	208	5.64 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	
(none)	PRIMARY BEDROOM	209	363.70 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	PRIMARY BATHROOM	210	256.94 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	PER I.D.
(none)	CLOSET	211	12.70 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	CLOSET	212	12.70 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	HER W.I.C.	213	131.77 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	HIS W.I.C.	214	131.12 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	LAUNDRY	215	78.50 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	CLOSET	216	21.53 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	
(none)	BEDROOM #2	218	288.34 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	BATHROOM #2	219	77.06 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	PER I.D.
(none)	W.I.C.	220	49.11 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	BEDROOM #3	221	158.24 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	CLOSET	222	15.37 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	
(none)	AHU	223	12.25 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	BATHROOM #3	224	52.66 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	PER I.D.
(none)	BEDROOM #4	225	304.14 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	BATHROOM #4	226	77.28 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	PER I.D.
(none)	W.I.C.	227	61.71 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	LINEN	228	3.47 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
25			2892.59 SF						
TOP OF ROOF									
(none)	STAIR	301	199.61 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	ROOF DECK	302	1306.89 SF	N/A	CONCRETE PAVERS	N/A	N/A	N/A	
2			1506.50 SF						
TOTAL: 48			7088.39 SF						

AHJ APPROVAL STAMP:



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LANDSCAPE ARCHITECT:
N/A

CONTRACTOR:
TBC

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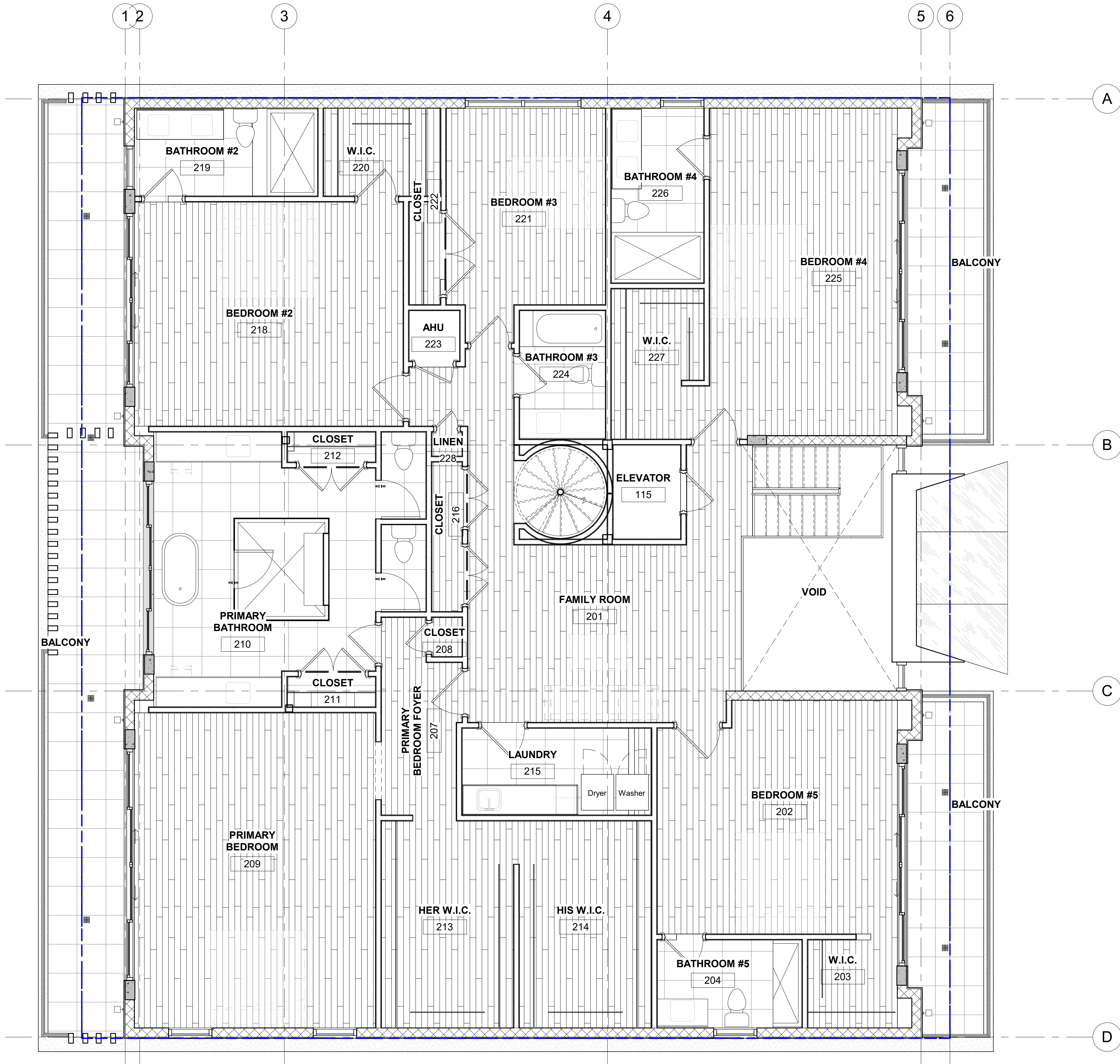
FINISH PLAN
LEVEL 01

A801

SCALE 1/4" = 1'-0"

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1 02 LEVEL 2(FINISH PLAN)
1/4" = 1'-0"

ROOM FINISH SCHEDULE									
KEY_Room Style	ROOM NAME	RM #	AREA	WALL FINISH	FLOOR FINISH	CEILING FINISH	BASE FINISH	CROWN FINISH	NOTES
01 LEVEL 1									
(none)	FOYER	101	Not Enclosed	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	PER I.D.
(none)	DINING ROOM	102	187.42 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	KITCHEN	103	392.95 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	LIVING ROOM	104	426.45 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	BAR & LOUNGE	105	Not Enclosed	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	OFFICE	106	145.67 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	1-CAR GARAGE	107	279.74 SF	PAINT - WHITE	SEALED POWDER FLOATED CONCRETE	PAINT - WHITE		N/A	
(none)	POWDER	108	40.35 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	AHU	109	14.58 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	CORRIDOR	110	111.00 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	CLOSET	111	9.32 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	PANTRY	112	42.70 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	W/D CLOSET	113	12.81 SF	PAINT - WHITE	CERAMIC TILES	PAINT - WHITE		N/A	
(none)	BATHROOM	114	50.24 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	PER I.D.
(none)	ELEVATOR	115	30.33 SF					N/A	
(none)	CLOSET	116	13.41 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	
(none)	CLOSET	117	15.27 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	
(none)	CLOSET	118	7.29 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	
(none)	LOBBY	119	16.92 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	2-CAR GARAGE	120	510.12 SF	PAINT - WHITE	SEALED POWDER FLOATED CONCRETE	PAINT - WHITE		N/A	
(none)	COVERED PORCH	121	382.72 SF	STUCCO - WHITE	CERAMIC TILES	PVC FLUTTED PANELS		N/A	
21			2689.30 SF						
02 LEVEL 2									
(none)	FAMILY ROOM	201	350.30 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	BEDROOM #5	202	260.14 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	W.I.C.	203	40.65 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	BATHROOM #5	204	60.83 SF	PAINT & CERAMIC TILE	CERAMIC TILES	PAINT - WHITE		N/A	PER I.D.
(none)	PRIMARY BEDROOM FOYER	207	66.44 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
(none)	CLOSET	208	5.64 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	
(none)	PRIMARY BEDROOM	209	363.70 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
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(none)	BEDROOM #4	225	304.14 SF	PAINT - WHITE	OAK PLANK	PAINT - WHITE		N/A	PER I.D.
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25			2892.59 SF						
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2			1506.50 SF						
TOTAL: 48			7088.39 SF						

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CIVIL:
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1680 SE 4th Street
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LANDSCAPE ARCHITECT:
N/A

CONTRACTOR:
TBC

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DRAWN BY:	EZ	

FINISH PLAN
LEVEL 02

A802

SCALE 1/4" = 1'-0"



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RENDER - STREET

A901

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RENDER - REAR
YARD

A902

SCALE

